

16-578

# ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Beach Trail Group, LLC				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 816 Beach Trail				Company NAIC Number:	
City Indian Rocks Beach		State Florida		ZIP Code 33785	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Parcel #12-30-14-59832-001-0040					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>27.89088°N</u> Long. <u>-82.85041°W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>6</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>1,077</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Indian Rocks Beach - 125117			B2. County Name Pinellas		B3. State Florida
B4. Map/Panel Number 12103C0179	B5. Suffix G	B6. FIRM Index Date 08/18/2009	B7. FIRM Panel Effective/ Revised Date 09/03/2003	B8. Flood Zone(s) VE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 12'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 816 Beach Trail			Policy Number:
City Indian Rocks Beach	State Florida	ZIP Code 33785	Company NAIC Number

**SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)**

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.  
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: County Map #176 (Hall J) Vertical Datum: NAVD - 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- |   |       |                                     |      |                          |        |
|---|-------|-------------------------------------|------|--------------------------|--------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)   | 7.71  | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |
| b) Top of the next higher floor   | 18.80 | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | 16.37 | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |
| d) Attached garage (top of slab)  | N/A   | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | 18.79 | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |
| f) Lowest adjacent (finished) grade next to building (LAG)  | 6.80  | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |
| g) Highest adjacent (finished) grade next to building (HAG)   | 7.20  | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | N/A   | <input checked="" type="checkbox"/> | feet | <input type="checkbox"/> | meters |

**SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION**

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name John C. Brenda		License Number 1269	<div style="font-size: 2em; font-family: cursive;">             11-28-17              John C. Brenda              # 1269              Place Seal Here           </div>
Title Surveyor			
Company Name John C. Brenda & Associates, Inc.			
Address 4015 62nd Avenue North			
City Pinellas Park	State Florida	ZIP Code 33781	
Signature 	Date 11/28/2017	Telephone (727) 576-7546	

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)  
C2) e. A/C Compressors

NOTE: This house was built with Breakaway Walls

Benchmark: County Map #176 (Hall J) Elev. 5.107' NGVD adjusted to Elev. 4.36' NAVD - MSL = 0.00

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 816 Beach Trail			Policy Number:
City Indian Rocks Beach	State Florida	ZIP Code 33785	Company NAIC Number

## SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attachments.



# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 816 Beach Trail			Policy Number:
City Indian Rocks Beach	State Florida	ZIP Code 33785	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

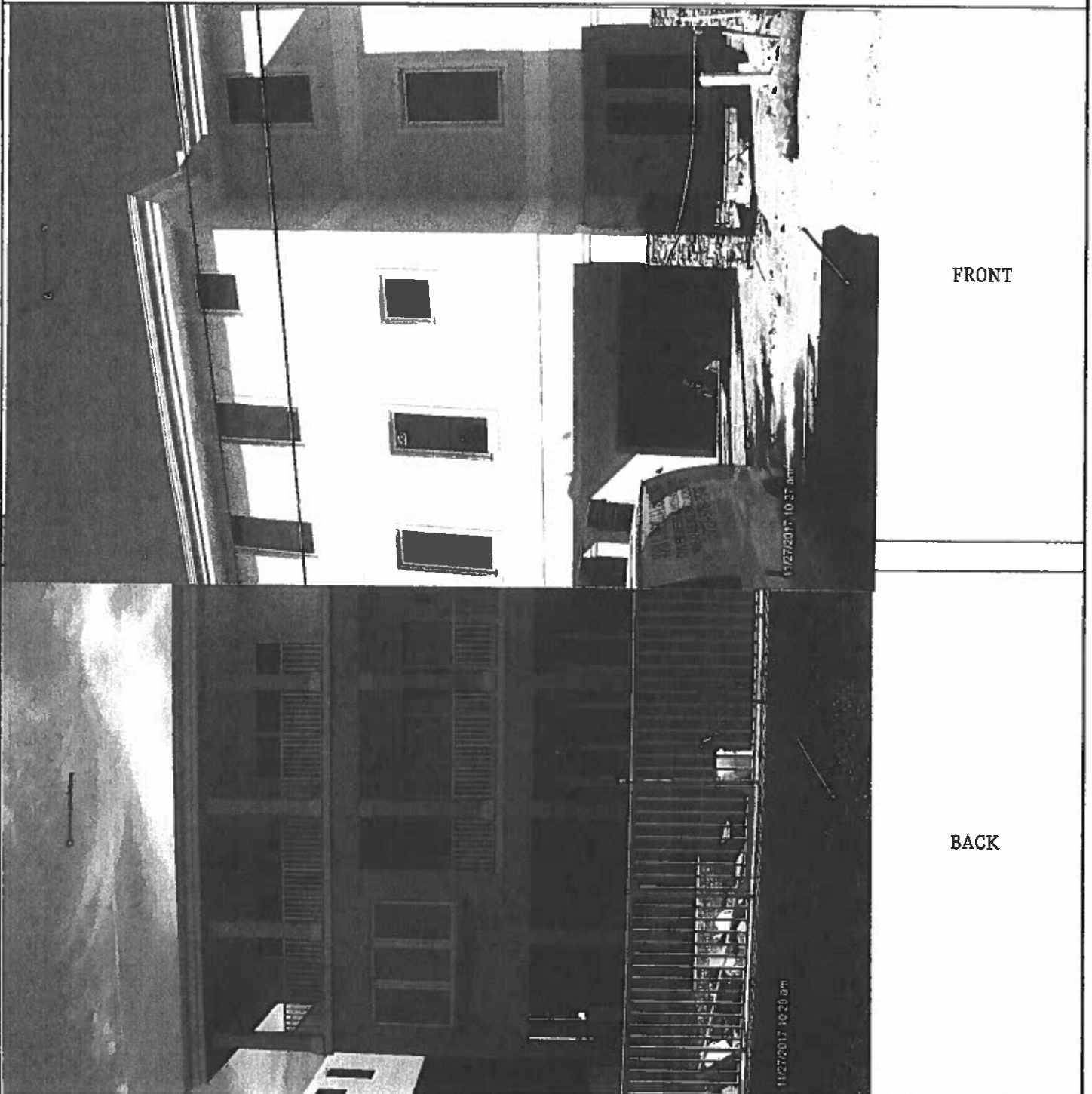


Photo Two Caption

SECTION 12, TOWNSHIP 30 SOUTH, RANGE 14 EAST

**CERTIFIED TO:**  
BEACH TRAIL GROUP LLC

**LEGAL DESCRIPTION:** (OFFICIAL RECORDS BOOK 19182, PAGE 0716)

A PORTION OF LOTS 3 AND 4, BLOCK "A", NEW HAVEN BEACH, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 8, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, INCLUDING ALL PROPERTY LYING EASTERLY OF THE WEST EDGE OF SEAWALL AND WESTERLY OF SAID LOTS 3 AND 4, BLOCK "A", NEW HAVEN BEACH, BEING A PORTION OF THE SAME PROPERTY VACATED BY RESOLUTION NO. 82.08 AS DESCRIBED IN OFFICIAL RECORDS BOOK 5439, PAGE 305, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

ALL THE ABOVE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

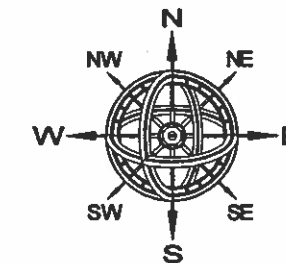
COMMENCE AT THE NORTHEAST CORNER OF LOT 2, BLOCK "A" OF SAID PLAT AND RUN S.08°11'17"W. ALONG THE EASTERLY LINE OF SAID LOTS A DISTANCE OF 105.53 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE S.08°11'17"W. ALONG SAID LINE 52.77 FEET TO THE SOUTHEAST CORNER OF SAID LOT 4, BLOCK "A", THENCE RUN N.81°43'46"W. ALONG THE SOUTHERLY LINE OF SAID LOT 4, BLOCK "A" AND A WESTERLY PROLONGATION THEREOF A DISTANCE OF 116.31 FEET; THENCE RUN N.09°55'55"E. 27.55 FEET; THENCE RUN N.08°24'11"E. 22.46 FEET; THENCE RUN S.83°06'17"E. A DISTANCE OF 115.42 FEET TO A POINT ON THE AFORESAID EASTERLY LINE OF LOTS 2, 3 AND 4, BLOCK "A" AND THE POINT OF BEGINNING.

**BUILDING ELEVATIONS:**

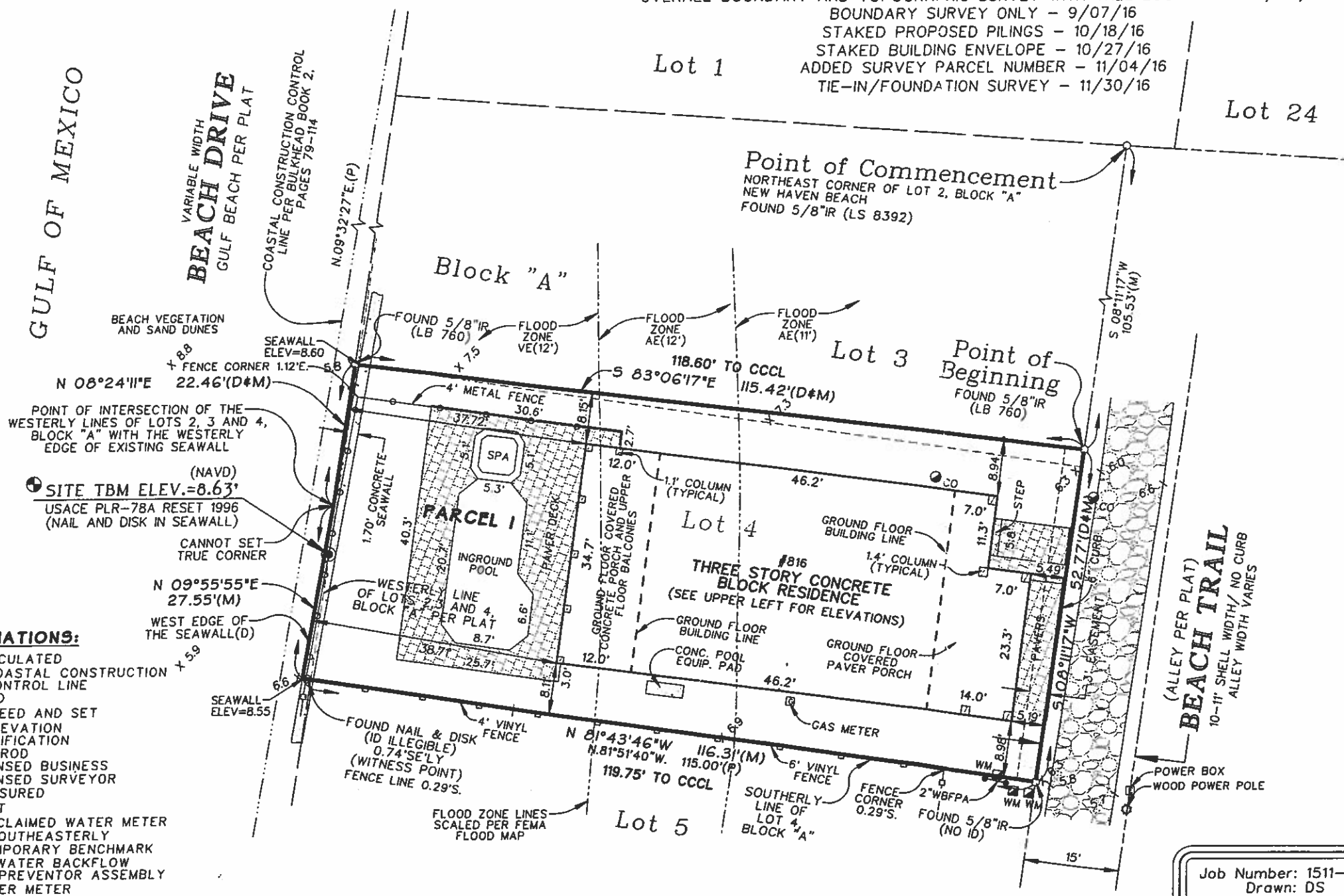
- LOWEST GARAGE FLOOR ELEV=7.71
- ENTRYWAY FLOOR ELEV=9.08
- LOWEST LIVING FLOOR ELEV=18.80
- BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER ELEV=16.37
- HIGHEST ADJACENT GRADE ELEV=7.20
- LOWEST ADJACENT GRADE ELEV=6.80
- A/C COMPRESSORS ELEV=18.79

OVERALL BOUNDARY AND TOPOGRAPHIC SURVEY WITH TREE LOCATION - 11/30/15  
BOUNDARY SURVEY ONLY - 9/07/16  
STAKED PROPOSED PILINGS - 10/18/16  
STAKED BUILDING ENVELOPE - 10/27/16  
ADDED SURVEY PARCEL NUMBER - 11/04/16  
TIE-IN/FOUNDATION SURVEY - 11/30/16

ELEVATION CERTIFICATE - 4/13/17  
FINAL SURVEY - 11/27/17



**NORTH BASIS:**  
BULKHEAD PLAT  
SCALE: 1" = 20'



Flood Zone Data:  
FLOOD ZONES AE(11'), AE(12'), VE(12')  
COMMUNITY PANEL #125117 12103C0179 G  
REVISED 9/3/03

Basis of Bearings:  
COASTAL CONSTRUCTION CONTROL LINE AS BEING N.09°32'27"E., PER BULKHEAD BOOK 2, PAGES 79-114, PINELLAS COUNTY RECORDS.

Benchmark:  
PINELLAS COUNTY MAP #176 (HALL J)  
ELEV=5.107' NGVD, ADJUSTED TO  
ELEV=4.36' NAVD, MSL=0.00'

This Survey was prepared without the benefit of a title search and is subject to all easements, Rights-of-way, and other matters of record.

Survey not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

This survey is made for the exclusive use of the current owners of the property and also those who purchase, mortgage or guarantee the title thereto within one (1) year from latest date shown hereon.

1511-71.CRD 946 16&17  
FIELD BOOK 926 PAGE(S) 42&43

**ABBREVIATIONS:**

- (C) = CALCULATED
- CCCL = COASTAL CONSTRUCTION CONTROL LINE
- (D) = DEED
- (D&S) = DEED AND SET
- ELEV = ELEVATION
- ID = IDENTIFICATION
- IR = IRON ROD
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- (M) = MEASURED
- (P) = PLAT
- RWM = RECLAIMED WATER METER
- SE'LY = SOUTHEASTERLY
- TBM = TEMPORARY BENCHMARK
- WBFP = WATER BACKFLOW PREVENTOR ASSEMBLY
- WM = WATER METER

Prepared by:  
**JOHN C. BRENDLA & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS AND MAPPERS  
4015 82nd Avenue North  
Pinellas Park, Florida 33781  
phone (727) 576-7546 - fax (727) 577-9932

I hereby certify that the survey represented hereon meets the requirements of Chapter 50, Florida Administrative Code.

*John C. Brendla*  
**JOHN C. BRENDLA**  
Florida Surveyor's Registration No. 1269  
Certificate of Authorization No. 760

Job Number: 1511-71B  
Drawn: DS