

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19

**CITY OF INDIAN ROCKS BEACH
ORDINANCE NO. 2005-03**

20
21
22
23
24
25
26
27
28
29
30
31
32
33

AN ORDINANCE OF THE CITY OF INDIAN ROCKS BEACH, FLORIDA, AMENDING THE CODE OF ORDINANCES OF THE CITY OF INDIAN ROCKS BEACH TO PROVIDE FOR DESIGN STANDARDS FOR STRUCTURES; BY ADDING CHAPTER 110, ZONING, ARTICLE VII, DESIGN STANDARDS; BY ADDING CHAPTER 110, ZONING, ARTICLE VII DESIGN STANDARDS, SECTION 110-800, PURPOSE; BY ADDING SECTION 110-801, APPLICABILITY; BY ADDING SECTION 110-802, REVIEW PROCESS; BY ADDING SECTION 110-803, UNIQUE STRUCTURES; BY ADDING SECTION 110-804, NON-STRUCTURAL CHANGES; BY ADDING SECTION 110-805; SUPPLEMENTAL APPLICATION CONTENTS; BY ADDING SECTION 110-806, PROHIBITED FEATURES; BY ADDING SECTION 110-807, DESIGN ELEMENTS; PROVIDING FOR THE DESIGN REGULATIONS TO SUPPLEMENT THE CODE AND TO THE EXTENT OF A CONFLICT, THE MORE STRINGENT REGULATION SHALL APPLY; AND PROVIDING FOR AN EFFECTIVE DATE. (FORMERLY TITLED ORDINANCE NO. 2003-24)

34
35
36
37
38
39
40
41
42
43
44
45
46

WHEREAS, Chapter 166, Florida Statutes, establishes the right and power of cities to provide for the health, welfare, and safety of the existing and future residents by enacting and enforcing land development and administrative regulations necessary for the protection of the public; and

WHEREAS, increased development and redevelopment within the City of Indian Rocks Beach has required re-evaluating and updating the city's development standards to address negative impacts on the City's built environment and economy; and

WHEREAS, the City Commission of Indian Rocks Beach desires to adopt design standards to enhance new development and substantial renovation projects; and to generate a harmonious architectural character that reflects the city's unique resident and tourist friendly environment; and

WHEREAS, the City Commission of Indian Rocks Beach directed the Planning and Zoning Board to re-evaluate the current standards and recommend amendments to the City's existing Land Development Regulations to resolve new or outstanding issues on development compatibility; and

WHEREAS, on February 17, 2005, the Planning and Zoning Board has determined that the proposed ordinance will ensure that new development and substantial renovations will enhance the appearance of the streetscape in the community and is consistent with the City's Comprehensive Plan; and

WHEREAS, on June 16, 2005, 2005, the Local Planning Agency determined that the proposed ordinance is consistent with the City's Comprehensive Plan.

47 **NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY**
48 **OF INDIAN ROCKS BEACH, FLORIDA, THAT:**

49
50 **Section 1.** The above whereas statements are hereby declared findings of fact.

51
52 **Section 2.** Chapter 110, Zoning, is hereby amended by adding Article VII,
53 Design Standards, to read as follows:

54
55 **Article VII. Design Standards.**

56
57 **Section 3.** Chapter 110, Zoning, Article VII, Design Standards, is hereby
58 amended by adding Section 110-800, Purpose, to read as follows:

59
60 **Sec. 110-800. Purpose.**

61
62 The purpose of these design standards is to enhance new development and substantial
63 renovation projects; and to generate a harmonious architectural character that reflects
64 the city's unique resident and tourist friendly environment. These design regulations are
65 not intended to limit creativity, rather they are intended to recognize and enhance the
66 character of the surrounding environment. These design regulations shall supplement
67 the other requirements of this Code. In case of a conflict, the more stringent regulation
68 shall apply.

69
70 **Section 4.** Chapter 110, Zoning, Article VII, Design Standards, is hereby
71 amended by adding Section 110-801, Zoning Districts, to read as follows:

72
73 **Sec. 110-801. Applicability.**

- 74
75 (a) Zoning Districts. Design regulations shall apply to all zoning districts except the
76 "S" single-family district.
77
78 (b) The Business District Triangle Overlay Zone. Design regulations shall apply to all
79 buildings located in the business district triangle overlay zone.
80
81 (c) All new structures, and exterior renovations and additions, which exceed 50% of
82 the market value of the structure, shall be required to comply with the
83 requirements of this article. Exterior renovations shall mean structural
84 modifications to the exterior facades or roof only and, for the purposes of this
85 article, shall not include interior materials or finishes or changes in facade or roof
86 materials such as shingle roof to a metal roof or stucco finish to siding or
87 windows or shutters.

88
89 **Section 5.** Chapter 110, Zoning, Article VII, Design Standards, is hereby
90 amended by adding Section 110-802, Review process, to read as follows:
91

92 **Sec. 110-802. Review process.**

- 93
- 94 (a) The applicant shall select an architect licensed in the State of Florida to be the
95 Architect of Record and who certifies that the architect of record has visited the
96 site and neighborhood and that the proposed project complies with this article
97 and related city ordinances. For nonresidential and mixed-use projects with less
98 than 3,000 sq.ft. of gross floor area and single-family and duplex residences, the
99 applicant may select a representative such as a licensed engineer or contractor in
100 lieu of an architect of record for purposes of this section.
- 101
- 102 (b) The applicant and/or the applicant's representative shall meet with city staff as
103 designated by the city manager to refine the designs in light of these guidelines
104 and city concerns.
- 105
- 106 (c) The city manager shall appoint a qualified who shall review the proposed
107 development for compliance with this article during the site plan review process
108 and provide a written determination of compliance with the requirements of this
109 article before issuing the site plan approval.
- 110
- 111 (d) Projects requiring approval by the city commission for development plans, such
112 as a planned unit development, shall obtain a determination of compliance with
113 the requirements of this article prior to the execution of a development
114 agreement.
- 115
- 116 (e) The applicant and/or the applicant's representative, and the city manager and/or
117 his qualified designee shall conduct a final walk-through to certify that the
118 development complies with the written determination of compliance approved
119 pursuant to this article prior to issuance of the certificate of occupancy.

120

121 **Section 6.** Chapter 110, Zoning, Article VII, Design Standards, is hereby
122 amended by adding Section 110-803, Unique structures, to read as follows:

123

124 **Sec. 110-803. Unique structures.**

125

126 Additions and exterior modifications to single-family homes and residential structures
127 with less than four units and at least 50 years old or structures that have local or
128 historical significance, such as the structures identified by the Indian Rocks Beach
129 Historical Society or registered with the Florida or National Historic Register, may be
130 exempted from some provisions of this ordinance. The exemption may be granted by
131 the city manager upon submission of design and elevation drawings demonstrating that
132 the architectural features and appearance of the structure will be maintained in a
133 manner that preserves the character of the structure.

134

135 Section 7. Chapter 110, Zoning, Article VII, Design Standards, is hereby
136 amended by adding Section 110-804, Administrative changes, to read as follows:
137

138 **Sec. 110-804. Non-structural changes.**
139

140 Minor nonstructural changes to city commission approved architectural designs
141 may be approved by the city manager or his designee. Changes shall be limited to the
142 following:
143

- 144 (1) Modifications to an ornamental parapet or roof top equipment screening
145 wall that do not exceed 4 feet in height that are equal to or enhance the
146 approved design. Said parapet or wall shall not be calculated toward
147 overall building height as long as the height of the roof deck is not
148 increased.
- 149 (2) Modifications to the architectural detail, treatment, texture and the like,
150 that are equal to or enhance the approved design.
- 151 (3) Modifications to ensure consistency with this article.
152

153 Section 8. Chapter 110, Zoning, Article VII, Design Standards, is hereby
154 amended by adding Section 110-805, Supplemental application contents, to read as
155 follows:
156
157

158 **Sec. 110-805. Supplemental application contents.**
159

160 Applications for site plan review shall be supplemented with the following
161 requirements:
162

- 163 (1) Basic requirement for review.
164
165
 - 166 a. Elevation drawings, including all architectural features and building
167 height, drawn to a common horizontal and vertical scale;
 - 168 b. Type of building materials;
 - 169 c. Roof type, pitch, and material;
 - 170 d. Detail of all public entries;
 - 171 e. Location and screening of loading bays, garage doors, overhead doors,
172 and outdoor storage;
 - 173 f. Location and screening of dumpster, garbage disposal, and recycling
174 areas;
 - 175 g. Detail and orientation of all facade-mounted and site lighting fixtures; and
 - 176 h. Structural/architectural focal point details, if applicable (e.g. fountains,
177 gazebos).

178
179 Colored elevations and perspective drawings, photographic simulations, models
180 and the use of other graphic material are encouraged and may be required by the city

181 manager or his qualified designee to illustrate or fully explain how the development will
182 address the requirements of this article.

183
184 **Section 9.** Chapter 110, Zoning, Article VII, Design Standards, is hereby
185 amended by adding Section 110-806, Prohibited features, to read as follows:
186

187 **Sec. 110-806. Prohibited features.**

- 188
189 (1) Windows that are arranged to create an uninterrupted or continuous band.
190
191 (2) Balconies that are arranged to create an uninterrupted or continuous band, such
192 as motel-style common linear balconies.
193
194 (3) Non-prominent entrance features, such as the use of a narrow staircase to
195 access multiple units.
196
197 (4) Exposed painted concrete masonry units.
198
199 (5) Metallic, neon or fluorescent colors for exterior walls.
200
201 (6) Visible mechanical, air conditioning and electrical equipment, antennas (except
202 approved telecommunication antennas per sec. 110-521 through 110-560),
203 satellite dishes (except as allowed per Division 15, Satellite Dish Antennas,
204 section 110-581 et seq.), and garbage containers (enclosures shall meet
205 minimum primary structure setback requirements and all containers shall be kept
206 in a landscaped enclosure constructed per sec. 50-64).
207
208 (7) Structures or components of structures that are of symbolic design for reasons of
209 advertising (e.g. "twisty" cone-shaped buildings).
210
211 (8) Dirt, gravel or shell driveways (except single-family and duplex residences).
212
213 (9) Asphalt sidewalks.
214
215 (10) Chain link fencing in yards facing the Gulf of Mexico or a right-of-way (excluding
216 alleys, where chain link fences must be coated).
217

218 **Section 10.** Chapter 110, Zoning, Article VII, Design Standards, is hereby
219 amended by adding Section 110-807, Architectural Design, to read as follows:
220

221 **Sec. 110-807. Architectural Design.**

- 222
223 (1) Articulation of building mass.
224
225 (a) To prevent long stretches of repetitive and undifferentiated wall planes, a
226 building shall be designed in a manner that reduces its apparent bulk by

227
228
229
230
231
232
233

visually dividing the façade into smaller segments that create a complementary pattern or rhythm and divide large buildings into smaller, identifiable pieces. Building proportions with horizontal emphasis are generally desired. Vertical proportions with strong vertical emphasis that exaggerates building height are to be avoided.



This building is articulated into intervals to present a logical pattern when viewed from the street.

234
235
236
237
238
239
240
241
242
243
244
245
246
247
248
249
250
251
252
253
254
255
256
257
258
259
260
261
262

Apparent bulk of the building is reduced in the above sketch by dividing the façade and roof into smaller segments

- (b) At least two of the following methods shall be used on all facades of a building visible from a right-of way including Beach Trail (except alleys) or public open space:
1. A minimum step back (recess) or projection of the façade two feet or more for at least twenty-five percent (25%) of the façade area.
 2. Architectural design elements, such as porches, canopies, towers, dormers, bay windows, balconies, and distinctive entry features that provide depth to the façade by breaking up a minimum of twenty-five percent (25%) of the façade area.
 3. Variation of roof and/or wall height to visually break up at least twenty-five percent (25%) of the façade, such as by use of multiple roofs, roof pitches, dormers, and/or parapet heights.
 4. Horizontal and/or vertical variation in texture, or materials and architectural detailing with elements, such as cornices, friezes, reliefs, dentils, architraves, pediments, pilasters, frets, quoins, corbels, to distinguish floors and adjoining units or to signify various elements of the building.
- (c) For any facade facing a right-of-way, including Beach Trail, (except alleys) and exceeding 60 feet in length, articulation of building mass shall be accomplished by the following two methods:

263
264
265
266
267
268
269
270
271
272
273
274
275
276
277
278
279
280
281
282
283
284
285

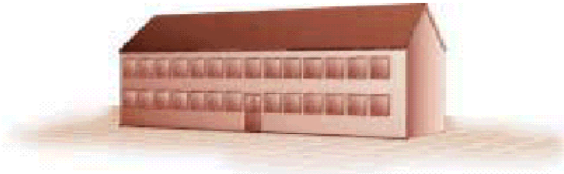
1. Modulation shall be accomplished by one of the following two methods:
 - a. Minimum step back modulation (recess) or projection of the facade three feet or more for at least twenty-five percent (25%) of the facade area.
 - b. Each story above the first habitable floor shall have the option to step back a minimum of five feet from the subsequent lower floor.
2. At least one of the requirements of Section 110-807(b)1. thru 4.

(2) Building Entrance and Parking.

- (a) Building entrances or entry features shall be easily identified/visible from the major street and proportionate to the scale of the building through the use of building elements such as:
 1. Recessed or projected entryways, canopies, porches, or porticos.
 2. Varying rooflines.
 3. Changes in material and/or color.
- (b) Building entrances shall provide a pedestrian connection (sidewalk) to the adjoining public sidewalk or street and the private parking area.



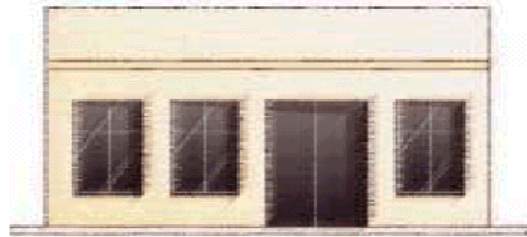
Does meet standard



Does not meet standard



Does meet standard



Does not meet standard

286
287
288
289
290
291
292
293
294
295
296

Examples of building designs
without prominent entrances/entry features

Examples of building designs
having desirable entrances/entry features

297
298
299
300
301
302
303
304
305
306
307
308
309
310
311
312
313
314
315
316
317
318
319
320
321
322
323
324
325
326
327
328
329
330
331
332
333
334
335
336
337
338
339
340
341
342

(c) Access to parking areas or garages in or under buildings shall be from alleys and Beach Trail, wherever possible.

(d) Parking areas or garages in or under buildings shall be screened and integrated into overall façade to unify with the overall building design. Screening can be accomplished through the use of architectural features and/or vegetative screening such as hedges and ornamental trees.

(3) Building Walls.

(a) Blank walls shall not exceed ten (10) feet in height and twenty feet (20) in length. Control and expansion joints shall constitute a blank wall, unless used in a decorative pattern at least four inches wide and with varied materials or textures.

(b) All facades shall be designed and treated with consistent architectural style, detail, and door/window features/trim.

(c) Openings (doors, windows, recessed porches, etc.) shall comprise a minimum of twenty percent of each facade area.

(4) Building Roof.

(a) The primary exposed roof shall have a minimum pitch of 4/12 and the ridgeline shall not exceed 60 feet in length without architectural features that break the ridgeline and/or roof plane. Lesser roof pitches are allowed when integrated into a multi-pitched roof design where the primary roof pitch is 4/12 or greater.

(b) Flat roofs shall incorporate parapets with architectural detailing and decoration.

(5) Windows and Doors.

(a) Windows and doors shall be defined with decorative details such as frames, sills, lintels, shutters, planters, relief trims, or moldings. Trim or molding shall be at least four inches nominal width to qualify as a special element.

(b) In addition to the other requirements of this article, individual pedestrian-level retail uses shall include display windows along at least twenty percent (20%) of the business' facade.

(6) Additional design elements.

(a) Landscaping shall screen undesirable views (e.g., storage buildings and

343 areas, parking areas, pool equipment, garbage containers and dumpster
344 enclosures).

345
346 (b) Mailboxes shall be grouped within an attractive unit or screened from
347 public view.

348
349 (c) Walkways, benches, landscaping, trellises and similar features should be
350 incorporated to enhance common areas.

351
352 (d) Walkways traversing vehicular use areas shall be accented with pavers,
353 bricks, decorative concrete, stamped concrete, or similar decorative
354 pavement treatment.

355
356 (e) Decorative light poles and fixtures shall provide shielded lighting focused
357 on the ground to eliminate spillover lighting.

358
359 (f) Fences or walls should be embellished by architectural elements and
360 punctuated by landscaping.

361
362 (g) One native canopy tree shall be preserved or planted that is visible from
363 Gulf Boulevard, for every 60 feet of street frontage or fraction thereof on
364 properties fronting Gulf Boulevard. Newly planted trees shall be at least
365 20 feet from a side property line.

366
367 **Section 11.** Chapter 110, Zoning, Article IV, Supplementary District
368 Regulations, Division 5, Fences, Walls, and Hedges, is hereby amended by adding
369 Section 110-282.1, Measurement of fence height, to read as follows:
370

371 **Sec. 110-282.1. Measurement of fence height.**

372
373 (a) Fence height shall be measured from grade to the top of the fence. The
374 building official may approve deviations of up to three inches to accommodate minor
375 changes in grade.

376
377 (b) Fences or walls embellished by architectural elements may exceed the
378 fence height by 18 inches over columns.

379
380 **Section 12.** Chapter 110, Zoning, Article IV, Supplementary District
381 Regulations, Division 3, Yard Requirements, Section 110-241, Yards to be open and
382 unobstructed, is hereby amended to read as follows:
383

384 **Sec. 110-241. Yards to be open and unobstructed.**

385
386 Every part of a required yard must be open to the sky, unobstructed, except for
387 the ordinary projections of steps, sills, belt courses, ~~and~~ cornices, bay windows, and
388 vegetation. Ornamental features shall not project more than ~~four~~ eighteen inches

389 beyond any setback line.

390

391 **Section 13.** If any portion, part or section of this ordinance is declared invalid,
392 the valid remainder hereof shall remain in full force and effect.

393

394 **Section 14.** Providing for the design regulations to supplement the Code and,
395 to the extent of a conflict, the more stringent regulation shall apply.

396

397 **Section 15.** This ordinance shall become effective immediately upon final
398 passage as required by law.

399

400 **PUBLISHED THE** 26th day of June, 2005.

401

402 **ADOPTED ON FIRST READING** by the City Commission of the City of Indian
403 Rocks Beach, Florida, held on the 5th day of July, 2005.

404

405 **PUBLISHED THE** 27th day of July, 2005.

406

407 **ADOPTED ON SECOND READING AND FINAL READING** this 2nd day of
408 August, 2005.

409

410

William A. Ockunzzi, Mayor-Commissioner

412

413 ATTEST:

414 Deanne Bulino O'Reilly, MMC, City Clerk

415

416 Approved as to form and legal sufficiency:

417

418

419 Andrew J. Salzman, City Attorney